

ADDENDUM NO. 5

Rochester City School District

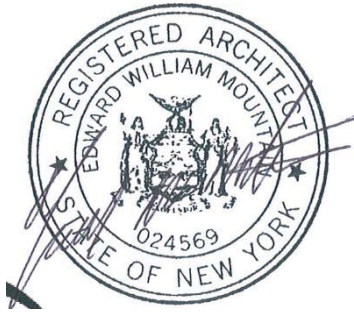
Dr. Walter Cooper, School #10

SED Control#: 26-16-00-01-0-037-021

SED DWT Control #: 26-16-00-01-7-999-020

SEI Project No.: 17-3016

March 13th, 2018



GENERAL INSTRUCTIONS:

- Include this Addendum as part of the Construction Documents. This Addendum supplements portions of the original Drawings and Specifications, the intent of which shall remain, except as revised herein.
- Work described in this Addendum shall be in accordance with the Specifications for like items in remainder of project and complete with all labor and materials included.

REVISIONS TO THE PROJECT MANUAL:

SECTION "00 11 13 - ADVERTISEMENT FOR BIDS"

Item AD5-1 **REPLACE** the following text to read:

"Sealed bids will be received until 2:00 p.m. on March 19th, 2018, at the Rochester City School District building at 70 Carlson Road, Suite 200, Rochester, NY 14610 by the Rochester City School District ("RCSD" or "Owner"), Attention: Pépin Accilien, Program Director, Tel. 585-512-3822, for the RCSD Dr. Walter Cooper - School #10 ("Project"), at which time and place said bids will be publicly

opened and read aloud. Questions during the bidding period must be communicated as described in Section 00 21 13 – INSTRUCTIONS TO BIDDERS.”

SECTION 00 21 13 – INSTRUCTIONS TO BIDDERS

- Item AD5-2 **REPLACE** the text in paragraph 2.01 PREPARATION OF BIDS, 3. DE-SCOPE MEETING with:
“3. DE-SCOPE MEETINGS: There will be Prime Contractor de-scope meetings held at the CM field office trailer for all the apparent lowest and second low bidders and all contractors need to be available on the following dates:
A. March 19th, 2018 thru March 23rd, 2018
1) General Trades Contract #1 – low bidder
2) Plumbing Contract #2 – low bidder
3) Mechanical Contract #3 – low bidder
4) Electrical Contract #4 – low bidder
All prospective winning prime contractors will be required to bring to the de-scope meeting the labor hours they have estimated in their bid.”

SECTION 00 43 87 – MILESTONE SCHEDULE AND CRITICAL SUBMITTALS

- Item AD5-3 **REPLACE** the text in paragraph 3.5 MILESTONE SCHEDULE with:

“Bids Received: 3/19/18 by 2:00 pm”

SECTION “14 24 00 – MACHINE ROOM-LESS HYDRAULIC ELEVATOR”

- Item AD5-4 **ADD** the following Paragraph to Article 2.2 MATERIALS-GENERAL:
“B. Security Features: Card-reader operation”
Item AD5-5 **ADD** the following sub-paragraph to Article 3.8 ELEVATOR SCHEDULE, Paragraph Elevator E-01:
“16. Security Features: Card-reader operation”
Item AD5-6 **ADD** the following sub-paragraph to Article 3.8 ELEVATOR SCHEDULE, Paragraph Elevator E-02:
“16. Security Features: Card-reader operation”

SECTION 262713 – ELECTRIC SERVICE

- Item AD5-7 **REVISE** Article 1.2 to read as follows:
“1.2 PAY ALL UTILITY COMPANY CHARGES; INCLUDE CHARGES IN THE BASE BID. INCLUDE A \$20,000 ALLOWANCE IN BASE BID TO COVER ALL UTILITY COMPANY CHARGES AND FEES.”

SECTION “27 41 02 – CLASSROOM AMPLIFICATION SYSTEM”

- Item AD5-8 **REVISE** Article 1.1, Paragraph C to read as follows:
“C. The sound field systems specified herein, equipment only, shall be furnished by the Owner's DWT supplier. The installation and labor, system branch circuiting and power branch circuiting shall remain in the Electrical Contract. The EC shall coordinate the wiring requirements, location requirements and installation requirements with the Owner's DWT supplier, and provide the work required for a complete and operating system for the specific system being furnished.”

REVISIONS TO THE DRAWINGS:

DRAWING "E1202 - PARTIAL FIRST FLOOR PLAN - POWER AND SS - AREA A"

Item AD5-9 **REVISE** plan 1 PARTIAL FIRST FLOOR PLAN - POWER AND SS as detailed on AD5-E003 (Dated 03/12/18).

DRAWING "E1203 - PARTIAL FIRST FLOOR PLAN - POWER AND SS - AREA B"

Item AD5-10 **REVISE** plan 1 PARTIAL FIRST FLOOR PLAN - POWER AND SS as detailed on AD5-E001 (Dated 03/12/18).

Item AD5-11 **REVISE** plan 1 PARTIAL FIRST FLOOR PLAN - POWER AND SS as detailed on AD5-E002 (Dated 03/12/18).

ATTACHMENTS:

SKETCHES:

ELECTRICAL

AD5-E001 PARTIAL FIRST FLOOR PLAN - POWER AND SS
AD5-E002 PARTIAL FIRST FLOOR PLAN - POWER AND SS
AD5-E003 PARTIAL FIRST FLOOR PLAN - POWER AND SS

GENERAL:

PRE-BID RFI Log dated 3/13/2018

End of Addendum No. 5



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BID DOCUMENTS

Date 03/12/18 SEI Project No. 17-3016

Revisions

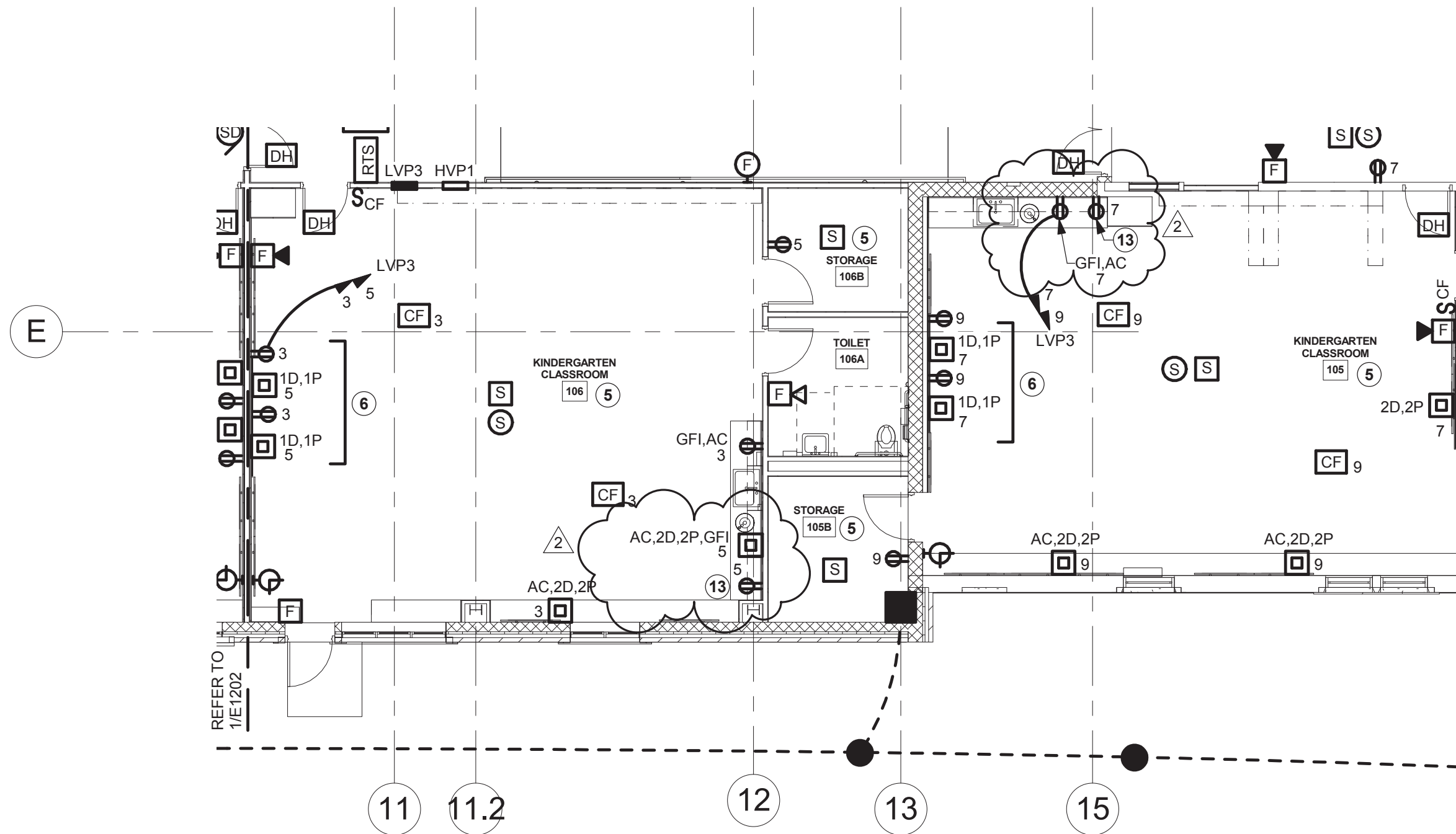
PARTIAL FIRST FLOOR PLAN -
POWER AND SS

AD5-E001

Reference DWG. E1203

E-1203 DRAWING NOTES

13 RECEPTACLE FOR UNDERCOUNTER FRIDGE. COORDINATE EXACT LOCATION IN THE FIELD.



1 PARTIAL FIRST FLOOR PLAN - POWER AND SS

1/8" = 1'-0"



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**ROCHESTER CITY
SCHOOL DISTRICT**

DR. WALTER COOPER

SCHOOL 10
353 CONGRESS AVE.
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SED Control No. 26-16-00-01-0-037-021



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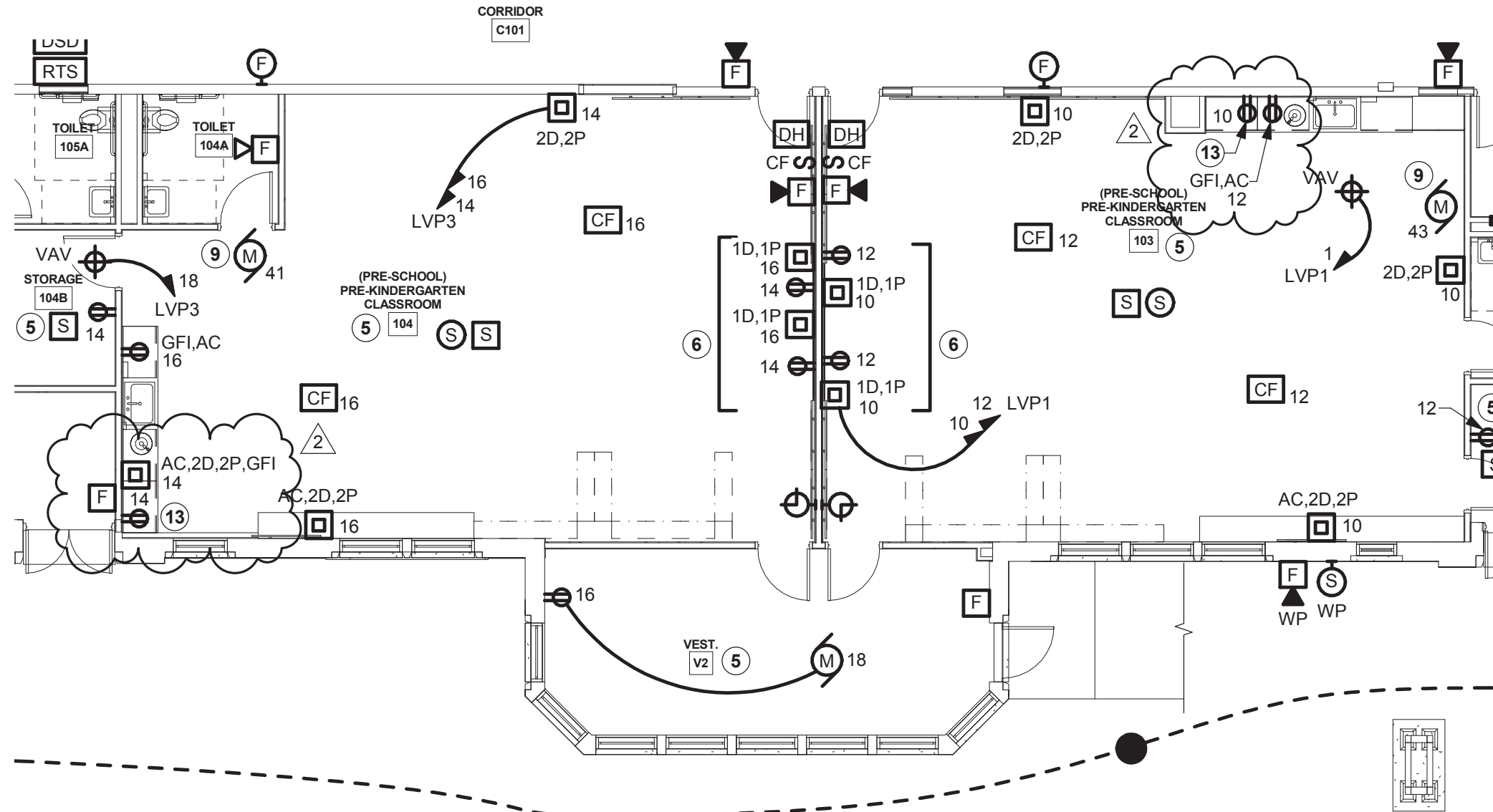
Date 03/12/18 SEI Project No. 17-3016

Revisions

**PARTIAL FIRST FLOOR PLAN -
POWER AND SS**

AD5-E002

Reference DWG. E1203



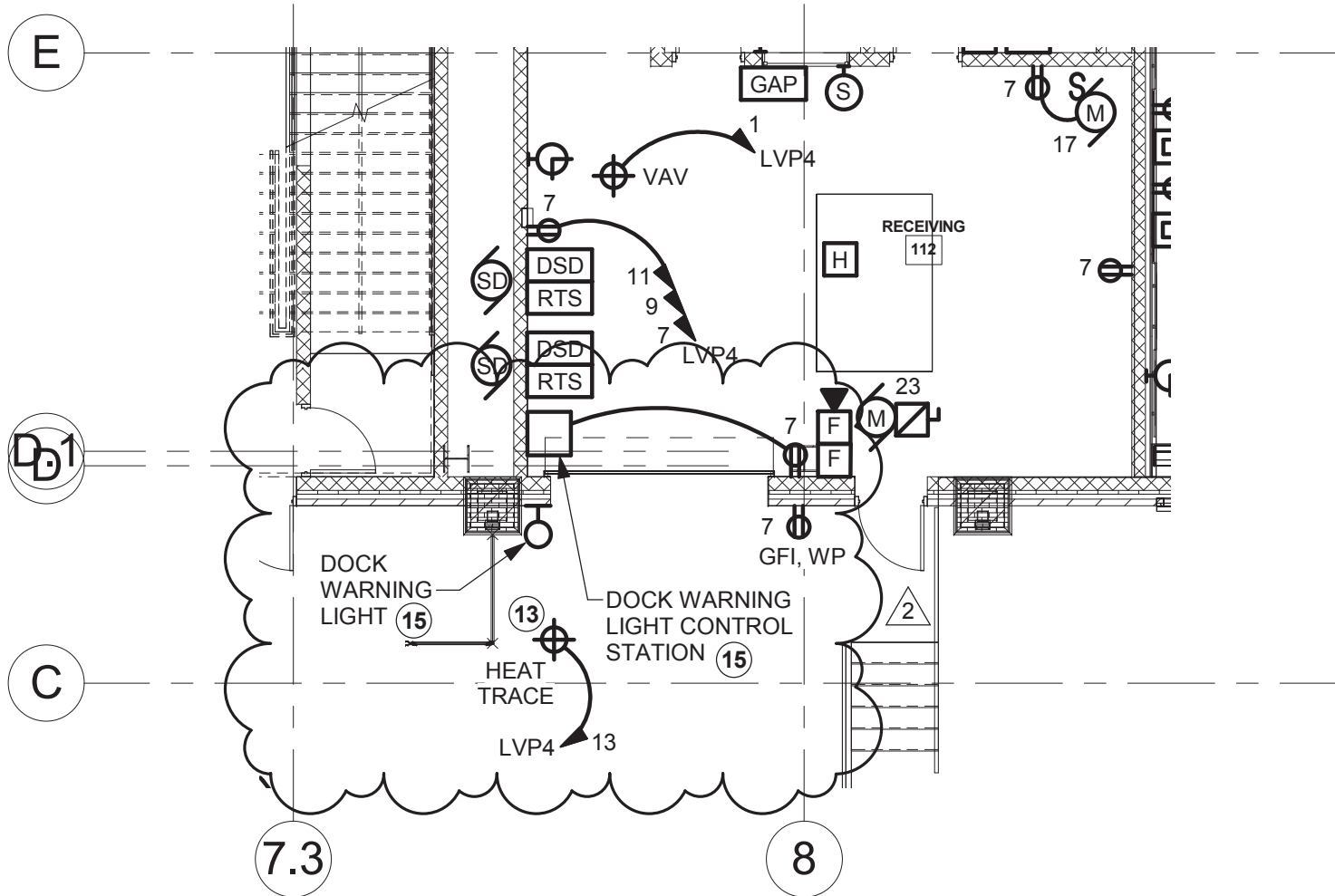
1 PARTIAL FIRST FLOOR PLAN - POWER AND SS

1/8" = 1'-0"

3/12/2018 3:04:20 PM

E-1202 DRAWING NOTES

- 15 INSTALL EQUIPMENT FURNISHED BY OTHER TRADE PER MANUFACTURER'S INSTRUCTIONS. PROVIDE 3/4" C BETWEEN THE CONTROL STATION AND LIGHT.



- 1 PARTIAL FIRST FLOOR PLAN - POWER AND SS
1/8" = 1'-0"



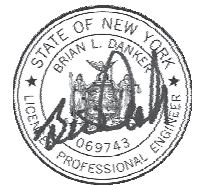
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BID DOCUMENTS

Date 03/12/18 SEI Project No. 17-3016

Revisions

PARTIAL FIRST FLOOR PLAN -
POWER AND SS

AD5-E003

Reference DWG. E1202



This document is not an official part of the construction documents and is being provided to the bidders for information purposes only.

RFI #	Date	Company	Question	Responded by:	Answer
1	15-Feb-18	DCI	In reference to Note 1 for detail 4 on drawing S5001, a unit price for removal of existing fill is mentioned. However, there is no unit price listed for this on the bid form.	SEI	Refer to item AD2-22
2	15-Feb-18	Johnston Equipment Company	Drawing H1600, Pump Schedule. There are 7 different pumps numbered HWCP-1. Should these have separate numbers such as HWCP-1, HWCP-2, etc.? Also, the first two HWCP pumps listed for air handlers AHU-1,2,3&4. Should this be two pumps or four?	SEI	Refer to item AD2-43
3	16-Feb-18	DCI	In reference to Notes A8 and A9 on drawing HM1002, the notes mention two add alternates for the abement contractor (HM-01 and HM-02). However, these are not listed in the alternate spec (004323) or the Bid Form (004116).	SEI	Refer to item AD2-16 and AD2-17
4	19-Feb-18	Manning Squires Hennig Co.	In specification section 015000, page 3 item 1.4E makes reference to general construction contractor (contract #1) is responsible for payment of utilities, which utilities are they responsible for?	SEI	Refer to item AD3-6
5	20-Feb-18	DCI	Per section 12 2413 - it calls out for a light filtering and light blocking fabric. Please advise locations for both types of fabrics. Also, Can you be more specific on the type of fabric you want.	SEI	Refer to key notes on revised floor plans items AD3-93 thru AD3-96
6	22-Feb-18	DCI	In reference to spec section 015000, section 1.4E mentions general contractor is responsible for payment of utilities. However, Section 1.4B, 1.4C and 1.4D say these utilities are available for use without metering or payment of use charges. Please Clarify.	SEI	Refer to item AD3-6
7	23-Feb-18	Manning Squires Hennig Co.	On drawing S2006 there is a note to add 2x10 at each existing joist, can you please define the limits that this work is to take place over? Please respond via addendum ASAP.	SEI	Refer to item AD2-20
8	23-Feb-18	Manning Squires Hennig Co.	On drawing S2008 there is a boxed note "ADD SHORING NOTE", what does this apply to? Please respond via addendum ASAP.	SEI	Refer to item AD2-21
9	26-Feb-18	DCI	Existing grade in the basement appears to be much less than the 5'-0" shown on detail 6/S6006. Can the pier footing be placed below the existing grade, or do we have to dig down 6'-0" below to set the footing?	SEI	Refer to item AD3-85
10	26-Feb-18	Manning Squires Hennig Co.	1. Section 2/A1317 calls out detail 3/A1318 showing concrete wall at light court refer to structural drawings. This wall does not show on the structural drawings, please advise on extent and details for size and reinforcing.	SEI	Refer to item AD3-54
			2. Section 1/A1606 calls out a concrete wall refer to structural drawings at event lobby bench. This wall does not show on the structural drawings, Please advise on extent and detail for the size and reinforcing. Please repond via addendum ASAP.	SEI	Refer to item AD3-52
11	26-Feb-18	Manning Squires Hennig Co.	Section 2/S6007 shows areaway walls CIP concrete walls. Floor plan A1101 Seems to show these walls as CMU, which is correct? If CMU walls please provide details for wall construction. Please respond via addendum ASAP.	SEI	Refer to item AD2-23
12	26-Feb-18	Manning Squires Hennig Co.	1. Per 2 on HM1000A, cleaning of existing structural members, walls, misc equipment with HEPA vac is required. Does this include locations that are scheduled for mass demolition in area A.	SEI	Yes
			2. A5 on HM1000A is called out but not scheduled, please provide details regarding this note.	SEI	Refer to items AD4-10 thru AD4-19
			3. Per 013216 asbestos abatement needs to take place in 2 shifts six days a week what is the methodology behind this requirement?		Not Reviewed
			4. What is the suggested means and methods of removing the ACM soil at the crawl space? Can a section of exterior wall be removed at area A prior to abatement activities so that easier access to the crawlspace is possible? If not does the soil need to be bagged and then removed from the space?		Not Reviewed
			5. At the walkthrough it was observed that the majority of the floor finish in area B is finished wood planks. In overlaying the demo and architectural drawings it shows multiple partitions that need to be removed and new openings in existing partitions. Is it know if the existing walls rest on top of finished wood planks or do they rest on the substrate below which looks to be unfinished wood planks? Furthermore, what is the procedure for patching or infilling areas where partitions are being removed created at this area this is not addressed by section 096400.	SEI	Refer to general note number 2 on drawing "A1700 - ROOM FINISH SCHEDULE, AND PATTERN DETAILS."
			6. Is wood wall trim at classrooms, corridors, windows etc. at partitions to remain to be left in place.	SEI	Refer to item AD3-92
			7. Is protection of the proscenium required by the general contractor?	SEI	Refer to item AD3-5
13	27-Feb-18	Manning Squires Hennig Co.	Drawing A1103 and others calls out section 1/A1310 which makes reference to the stepped slab in room C106 maker space/lightcourt . Section notes refer to structural drawings for details, structural drawings do not show any details. Please provide details including reinforcing and dimensions for these steps.	SEI	Refer to AD3-60
14	27-Feb-18	Manning Squires Hennig Co.	1. Can you provide an elevation for the top of canopy shown in sections 1/A1311 and 1/A1315 as well as others?		Not Reviewed
			2. What is the top of concrete elevation for concrete piers at the canopy columns? Structural drawings section 1/S6002 shows top of concrete -3'2" and architectural sections 1/A1311 and 1/A1315 appear to show at -6'2", which is correct?	SEI	Refer to item AD3-77
15	28-Feb-18	CASREPS	Page 11-13 of glazing spec calls out all the different glazing's for the project. I do not see the skylight glazing called out. Can you please clarify which glazing you would like us to bid? IG-1, IG-2 etc, listed currently a new skylight glazing section? Please consider the Bristolite unit skylight and metal framed skylight information as an equivalent to the wesco inits specified. we are the only other manufacture that can meet this specification.	SEI	Refer to specification "00 62 00 Unit Skylights" for unit skylight glazing. Refer to drawing "A1231 - FENESTARTION TYPES AND DETAILS" for metal framed skylight glazing .
16	1-Mar-18	Manning Squires Hennig Co.	Drawing A1404 detail 8 calls out a stair section - Discovery Lab, please indicate where this occurs on the floor plan I can not seem to locate it.	SEI	Refer to revised floor plan item AD3-93
17	1-Mar-18	Casler Masonry	1. Alternate No.02 - Elevator E-02 - Structural drawings S2009 section 4 does not match Architectural drawing A1407 section 7 they have different foundations shown which is correct?	SEI	Refer to item AD3-50
			2. Basement interior partitions - do the partitions set on the concrete slab? Architectural drawing A1400 section 4 shows the partition going below the slab. Structural drawing S2001 does not show any interior footings or thickened slab.	SEI	Refer to item AD3-35
			3. Vertical CMU reinforcing - Structural drawings S6001 section 6 has a note that said 4" CMU w/vert. Reinforcing per general notes. General note 12 under CMU notes on S0001 not list vertical reinforcing for 6" and 4". Do these wall got vertical reinforcing?	SEI	Refer to item AD3-75

			4. Elevator E-01 - Structural drawings S6001 section 5 shows concrete foundation up to slab elevation. Architectural drawing A1406 section 4 shows concrete foundations stopping 8" below slab elevation. which is correct?	SEI	Please refer to structural drawings for the correct elevation
			5. Column line 3 at gym first floor - Architectural drawing A1316 section 1 shows CMU walls sitting on a thicken slab below slab elevation structural drawings S2003 does not show anything along column line 3. Is this correct?	SEI	Refer to item AD3-39
			6. Architectural general information and partition types, sheet A001 - Typical exterior wall assemblies note 8" back up list colored ground face @ interior. Do not see any ground face finish listed on the finished schedule on sheet A1700. Is there any ground face required?	SEI	Refer to item AD3-90
18	1-Mar-18	Manning Squires Hennig Co.	Drawing A1405 calls out exterior stair sections for kitchen and classroom 136. Notes refer you to structural drawings for detail. There ia a detail 13/S5001 showing typical exterior stair foundation, however it states to refer to plan for footings dimensions and top of footing elevations, these are not shown on the structural drawings. Please indicate dimensions required for footings and top of footing elevation for each of these locations.	SEI	Refer to item AD3-60
19	1-Mar-18	Manning Squires Hennig Co.	Drawing S2009 shows elevator for alternate #2 as a CMU shaft from mat footing to top of wall. Drawing A1407 shows a CIP concrete foundation wall for the first 3'-6" and then CMU shaft to top of wall. Which is correct? Please respond via addendum ASAP.	SEI	Refer to item item AD3-50
20	1-Mar-18	Concord	Is the school being closed down so we have access to the site during normal working hours all year?	SEI	Yes, the school will be closed for the 2018-2019 school year
21	1-Mar-18	T.G.R. Enterprises	Per detail 1/A1231, you are requesting new panning to go on all windows, unless otherwise noted. Currently, all windows have the same details, reference the same cut throughs and have the same notes, with the exception of W17, W18, W19 and W20. However, a. Per the HM drawings, you are requesting that existing windows be brought down to the masonry openings. We would have to rebuild all the openings with blocking to accommodate that panning. There is no detailing showing this. b. Per the architectural details provided, the panning will not fit on the windows with the head, sill and jamb conditions the way that they are drawn. c. At this current moment, we interpret the drawing to show that we will be providing panning at area B retrofit opening only based on the detailing. If this is an accurate. Could you please provide clarification on the intent of the panning on this project? Can you please provide details on how it is to be installed and clarification as to where on the building it is to be located.	SEI	Refer to item AD3-98
22	2-Mar-18	Highland Masonry	In Spec Section 072726-2.4 You are calling out the use of Barritech VP for an approved application of the air Barrier System, however in section 072726-2.5 C for accessories you are calling to use Dow Silicone Transition Strips at all openings. This is a conflict of two separate manufactures and could lead to compatibility or warranty issues, would you consider the use of Carlisle's transition strip instead of Dow's? I have attached the data sheet for the proposed strip for your review.		Not Reviewed
23	5-Mar-18	Manning Squires Hennig Co.	1. Please provide architectural floor plan which shows the location of the elevator at Area B which is part of alternate 2. 2. 1-3 on A1407 references drawing A 1411 which is currently not included in the set, please provide		Not Reviewed
					Refer to item AD3-104, AD3-105 and AD3-106
24	5-Mar-18	Concord	Can you pls advise how much allowance money we should carry for RG&E fees? The basic electrical requirements spec says 20K, but the electric service spec says 10K. Pls clarify if it is 10,20, or 30K?	SEI	Refer to item AD3-17
25	6-Mar-18	Concord	Regarding addendum 2, item ad2-9. It says the sound field systems specified herein, equipment only shall be furnished by the dwt contractor, which falls under the electrical scope. However, in the spec it states that all equipment in that spec is furnished by owner. Can you pls clarify what exactly we are responsible for? Do we furnish that material in that spec or not?		Refer to item AD5-8
26	6-Mar-18	Concord	Where is addendum drawing AD2-E007? I received the addendum but that drawing is not in there. Pls advise?	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
27	6-Mar-18	Concord	Same with AD2-E014.	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
28	6-Mar-18	Concord	AD2-E008 as well.	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
29	7-Mar	Frontier Glass	1. Please note that the SEI has specified a very expensive product for the 20 minute rated doors and frames (note this product is used on 30,45,&90 minute framing and Doors). Attached is the product that should be used by the same manufacturer TGP. This product is called Fire Glass 20 and is about \$80 to \$90 less per sq/ft. 2. Frame F17 does not have a Glass type associated with it. 3. Door # ST02-3 has frame Type F9 listed. This should be Type F6 I think according to the exterior elevations.		Refer to item AD4-26
					Refer to item AD4-25
					Refer to item AD4-24
30	8-Mar	Flower City Glass	Due to the sizing of the glass and the rating that needs to be achieved; all of the 120 minute glass will need to be installed in a completely rated system (fire-rated storefront). This glass will not meet code if glazed into HM frames. Please advise.		Refer to item AD4-7 and AD4-26

31	8-Mar	Frontier Glass	1. DR# 115-1, DR#ST01-3 & #ST04-2 are listed as FRP Entrance with a 90-minute fire rating.		Refer to item AD4-23 and AD4-24
			2. DR# ST02-3 is listed as an AMP door with a 90-minute fire rating.		Refer to item AD4-23 and AD4-24
32	9-Mar	Draper	Per section 12 2413 - it calls out for a light filtering and light blocking fabric. Please advise locations for both types of fabrics. Also, Can you be more specific on the type of fabric you want.	SEI	Refer to key notes on revised floor plans items AD3-93 thru AD3-96